

CONSERVATION FUTURES (CFT) 2018 ANNUAL COLLECTIONS APPLICATION FOR FUNDS

PROJECT NAME Dakota Homestead

Applicant Jurisdiction(s): City of Seattle

Open Space System: Neighborhood Park

(Name of larger connected system, if any, such as Cedar River Greenway, Mountains to Sound, etc)

Acquisition Project Size: .22 acres
(Size in acres)

CFT Application Amount: \$350,000
(Dollar amount of CFT grant requested)

Type of Acquisition(s): Fee Title Conservation Easement Other:

CONTACT INFORMATION

Contact Name: Katie Stemp
Title: Board President, Urban Homestead Foundation
Address: PO Box 16424, Seattle, WA 98116
Date: 3/7/2017

Phone: 206-218-4948
Fax: n/a

Email: katie@urbanhomesteadfoundation.org

PROJECT SUMMARY:

(In the space below, provide a brief but comprehensive description of the project, which succinctly explains the what the project is attempting to accomplish. This should include reference to the overall watershed, reach, trail or open space system within which the project is set. Please note how the targeted parcels are significant individually, or as part of an overall multi-parcel system.)

Goal: The goal of this project is to acquire a unique, active green space in West Seattle. Urban Homestead Foundation (UHF) is requesting \$350,000 in CFT proceeds for this acquisition.

Neighbors and concerned citizens have gathered to purchase the land on the corner of SW Dakota Street and 50th Avenue SW ("Dakota Property") in the Genesee/Schmitz Park area of West Seattle, which was previously a substation owned by Seattle City Light. We plan to convert this land into the Dakota Homestead - an active green space, demonstration garden and a community hub that will benefit people of all ages and backgrounds. At a time when the entire city of Seattle is experiencing exponential residential growth and further disconnection from a natural environment, the purchase of the decommissioned Dakota substation is an opportunity to preserve an open space that would help make West Seattle's growth sustainable and perhaps even pleasant, by creating a sanctuary and education center for the domestic arts. In order to influence the next generation of potential green policy makers, business leaders and community advocates, we need access to natural spaces that teach children and adults to appreciate and support local food systems, urban nature and community. There are currently no spaces in West Seattle that cater to urban homesteaders who are eager to share their skills and learn from each other; and the location across from the largest elementary school in the city is an ideal place to create this hub of preservation, stewardship and education.

1. OPEN SPACE RESOURCES

Please review the attached evaluation criteria. For the proposed acquisition parcel(s), please mark those criteria that apply and thoroughly, yet succinctly, describe **in the space below** how the proposed acquisition satisfies each marked criteria. Please clearly describe how these criteria might be met at a landscape level, and how they apply to individual parcels. If restoration is part of the plan, please briefly describe the current condition and the hoped for restored condition that is the goal of the acquisition.

- | | |
|---|---|
| <input checked="" type="checkbox"/> A. Wildlife habitat or rare plant reserve | <input type="checkbox"/> E. Historic/cultural resources |
| <input type="checkbox"/> B. Salmon habitat and aquatic resources | <input type="checkbox"/> F. Urban passive-use natural area/greenbelt |
| <input checked="" type="checkbox"/> C. Scenic resources | <input type="checkbox"/> G. Park/open space or natural corridor addition |
| <input type="checkbox"/> D. Community separator | <input checked="" type="checkbox"/> H. Passive recreation opportunity/unmet needs |

A. The Dakota Property contributes to a functioning wildlife habitat system of common and non-native species in an urban environment. According to Lynn Best from Seattle City Light, the 19 mature trees on the property were planted in the mid 1940s. All the trees on the property were evaluated and inventoried by Consulting Arborist and Horticulturist Kyle Henegar in April, 2016. These trees will be cared for and maintained under Urban Homestead Foundation ownership. The property includes 6 exceptional trees (Lodgepole Pines and 1 Pacific Madrone, plus an Ornamental Cherry that is 1 inch shy of exceptional): 11 trees that create an Exceptional Grove (Scots pine, Ponderosa pine, Lodgepole pine, Japanese maple, Pacific madrone, Lebanon cedar); and 2 trees of a vulnerable species (Lebanon Cedar). The exceptional trees are in the process of being registered with the City of Seattle. The variety, health and maturity of these trees make them beneficial to local urban wildlife and to people who can enjoy and learn about them. We will add an understory of dwarf fruit trees, food-producing bushes, herbs, groundcover and root crops, all of which will serve as a buffer between the 750+ seat elementary school and neighboring homes. In addition, we will plant pollinator pathways and educate the public and the school across the street how to support these habitat systems.

C. The Dakota property is itself a natural and cultural scenic resource. Preserving it will provide a lovely urban oasis in an area that becomes more populated every year (West Seattle is slated for four urban villages, per the City's 20-year comprehensive plan released last year, and two of these villages will be located within 2 miles of this former substation land.) In addition, the location of this property across the street from Genesee Hill Elementary School not only makes it an ideal asset to educate future citizens and community leaders about the importance of our natural systems, but provides them with the tools to be better learners. "Growing evidence shows nearby nature provides tremendous benefits to children in cities, and is an essential element of child development. Children today are less connected to nature than any other generation in history, with an increasingly digital and urban world pulling children away from opportunities for unstructured outdoor play and interaction with the natural world. While today's 'indoor children' are globally connected through technology, they lack vital connections to their immediate outdoor surroundings. Some results of this 'nature-deficit' include rising rates of childhood obesity, attention disorders, and depression." The Dakota Property has the potential to become a neighborhood jewel, providing experiential outdoor time for a minimum of 750 children every year.
(<http://www.nature.org/ourinitiatives/regions/northamerica/unitedstates/washington/outside-our-doors-report.pdf>)

H. The Dakota Homestead project will create and enhance a space for gardening, urban homesteading skills and nature viewing and education. There is a natural opportunity here to create community by teaching each other and celebrating what our local environment has to offer while preserving green space. At its core, urban homesteading is the practice of living in a more environmentally conscious manner, and this practice is best taught through our surrounding natural systems. Currently, there are no spaces available in West Seattle that meet the needs of urban homesteaders and those wishing to learn the skills that make the domestic arts rewarding. The initial target community is the Genesee/Schmitz Park Neighborhood and the Genesee Hill Elementary, which is directly across the street from the property and serves over 750 students and their families. After the Dakota Property has been purchased, we will work closely with the neighborhood and the school to do a needs assessment on how the land can indirectly benefit others outside of the immediate neighborhood (for example, providing gardening assistance to seniors, fresh produce to food banks, or local knowledge of growing food in this climate to immigrant populations). There is currently a strong urban homesteading community of nearly 1000 West Seattle residents that do not have a central resource hub to meet and share their skills. We are in desperate need of a destination for inspiration, demonstration gardens, skill acquisition, community sharing, and education for our youth.

2. ADDITIONAL FACTORS

For the **proposed acquisition parcel(s)**, please mark all criteria that apply and thoroughly, yet succinctly, describe **in the space below** how the proposed acquisition satisfies each marked criteria.

- A. Educational/interpretive opportunity
- B. Threat of loss of open space resources
- C. Ownership complexity/willing seller(s)/ownership interest proposed
- D. Partnerships - Describe any public or private partnerships that will enhance this project
- E. Is the property identified in an adopted park, open space, comprehensive, or community plan?
- F. Transferable Development Credits (TDC) participation

A. The project will immediately provide the setting for meaningful natural systems education and interpretation. There is already an active group of urban farmers in West Seattle and people in our neighborhood who are eager to learn from each other how to save seeds, plant edible organic gardens, implement alternative energy sources, and support pollinator pathways. Creating individual urban homesteads within our neighborhoods, reliant on each other for education and support while sustaining low impact environmental practices, is widely embraced in our green city. West Seattle has an opportunity to put this enthusiasm into practice in a unique way. By purchasing this land, we provide a spot of green that is active with community gatherings and education which gives back ten-fold as people take what they're learning and implement the ideas in their own homes. There is a deep history of farming and gardening in West Seattle and the purchase of this land allows us to preserve some of this culture. In addition, we have the support of Genesee Hill Elementary administration and PTA, who see the opportunity in providing the 750+ students across the street with hands-on, experiential learning and interpretation of natural systems.

B. West Seattle, like the rest of the city, is experiencing exponential growth (nearly 90,000 people have moved to Seattle over the last ten years, and an additional 120,000 are expected over the next twenty). The land along California Avenue, already bustling with 3 separate business districts along a 3 mile stretch, is rapidly being developed with even more mixed use housing and businesses, attracting increasing numbers of residents. The Dakota Property is located in an area currently zoned for single-family development. There are few vacant properties in the neighborhood, and it will be subdivided and developed if not acquired. As Seattle Green Spaces so eloquently stated: *"In contrast to selling the land for short-term private development, repurposing the land for public uses offers long-term public benefits. It is an innovative way to balance urban density with much needed open space and offering protection to the tree canopy of our urban forest."* The need for additional parks and open space in this part of West Seattle is well documented (the 1999 West Seattle Junction Neighborhood Plan, the 1999 Admiral Neighborhood Plan, the Seattle Parks' 2001 Development Plan), and has identified the need for better access to existing parks as well as new open spaces that provide 'breathing room' for the neighborhoods.

C. In 2016, Seattle City Light concluded a study on their nearly 20 surplus properties, and the City Council authorized the sale of six former substations. The Dakota Property is one of these decommissioned substations, sitting directly across the street from the newly opened Genesee Hill Elementary School. A group of neighbors, concerned citizens and members of the Genesee Hill PTA approached the Seattle City Council to ask for their support in purchasing this land to create an active open space to teach and share urban homesteading skills. The City has been very responsive to our requests and inquiries, provided an extension for the sale to take place that will allow our group to purchase the land, and provided a Letter of Support (attached) spelling out their commitment to selling the land to our group.

D. Urban Homestead Foundation is governed by a 3-member board and a steady volunteer base of nearly 50 community leaders (and growing). This purchase has been championed by the Genesee-Schmitz Neighborhood Association, Seattle Green Spaces Coalition, Sustainable West Seattle, the Genesee Hill Elementary and PTA and Seattle Farm School. To date we have nearly 100 donors and an email list of close to 1000 active supporters. We also have partnerships with Raintree Nursery, West Seattle Nursery and Garden Center, West Seattle Be Prepared, and the Community Orchard of West Seattle. We look to Seattle Tilth, Bradner Gardens, the Delridge Neighborhood Development Association substation purchase, AlleyCat Acres, as well as community supported pocket parks and P-Patches, as inspiration for what is possible here. All partnerships currently provide in-kind support, and will continue to do so as we develop stewardship, education and interpretation opportunities.

3. STEWARDSHIP AND MAINTENANCE

How will the property be stewarded and maintained? Does the property lend itself to volunteer stewardship opportunities? How will ongoing stewardship and maintenance efforts be funded?

The property will be stewarded and maintained by The Urban Homestead Foundation. The board of directors for this organization will have oversight for the care and maintenance of the property, relying on the significant volunteer base to operate and steward the property into the future. As we continue our fundraising outreach, our base grows and we gain further support from our local leaders who wish to see this kind of community outreach - a "modern barn raising" - succeed. The property presents a unique opportunity to create and sustain volunteer stewards by structuring itself as a community governed resource and asset. The school children across the street will also gain valuable skills in nature conservation and natural systems which will directly impact the site itself, while creating deepened partnership between the school and the land. And through our partnership with Seattle Farm School (SFS), we will immediately begin planting, teaching and hosting classes on the land as soon as it is acquired. SFS has built a community of nearly 2,000 people and has been influential in creating and nurturing a community of urban homesteaders in West Seattle. We will be able to offer classes on topics like organic edible gardening, green building and alternative energy, cooking and food preservation. Annual events will include the Spring Seed Swap, summertime Urban Farm Tour, FarmFest (featuring local farmers that offer Community Supported Agriculture (CSA) shares musicians, crafters and food producers), farm-to-table dinner events, neighborhood gatherings, and more. All of these events and gatherings on the property create volunteer stewardship opportunities. We have structured our revenue model to be fully self-sustaining once the purchase of the land is completed, by hosting classes and events for the community, with occasional fundraising for additional projects that might arise.

4. PROJECT BUDGET

1) TOTAL CFT APPLICATION AMOUNT ^a	CFT: \$350,000
2) TOTAL PEL APPLICATION AMOUNT ^b	PEL: n/a

Estimation of property value: \$530,000

Briefly note how land values have been estimated (i.e., appraisal, property tax assessment, asking price, letter of value or other means). Seattle City Light obtained an appraisal in June 2014 and determined the fair market value for this parcel is \$530,000. They are currently having an updated appraisal completed and will have a revised value in the next four to six weeks.

PROJECT COSTS	ESTIMATED DOLLAR AMOUNT OR RANGE
Total property interest value	\$530,000
Title and appraisal work	\$14,382
Closing, fees, taxes	\$7,500
Relocation	\$0
Hazardous waste reports	\$154,900 for remediation and testing
Directly related staff, administration and legal costs	\$0
Total Project Costs (CFT and other funds)	706,782

MATCHING FUNDS: Existing Sources (CFT can only provide a maximum of 50% of anticipated project costs)	DATE (Expended or Committed)	DOLLAR AMOUNT (Expended or Committed)
Seattle City Light	Expended	\$169,382
Multiple Individual Donors	Committed/Received	\$6,592
Total CFT Funds <u>Previously Received</u> for This Project	None	\$0
Total of the Matching Funds and CFT Funds Previously received (<i>identified above</i>)		\$175,974
Unidentified Remaining Match Need		\$180,808

Unidentified remaining match need: What funds are anticipated and what is the timeframe?

Please briefly discuss how the unidentified remaining match need above will be met.

Over the next year, we anticipate raising \$100,000 from corporate and foundation grants and \$80,000 from individuals through special events, online campaigns and major donors.

5. IN-KIND CONTRIBUTIONS FROM PARTNERSHIPS

Brief Activity Description	Dollar Value of In-kind Contribution	Status (Completed or Proposed)	Activity Date Range (Completion Date or Proposed Completion Date)
Real Estate Services provided by Seattle City Light	In-Kind	Completed	Completed as of 2/28/2017
TOTAL			\$169,382

6. ATTACHED MAPS (Two maps are now required: 1) site map and 2) general location map; you may also include one additional map, aerial photo or site photo)

8 ½ x 11” maps are preferred, but 11 x 17” is acceptable if folded and hole-punched for insertion into a three-ring binder.

- 1) Site Map: Dakota Homestead Property outlined in red
- 2) Location Map: Dakota Homestead Property with an approximate 10-mile radius
- 3) Significant Item: Seattle City Light Letter of Support

Dakota Homestead - Updated Cost Information (April 22, 2017)

1) TOTAL CFT APPLICATION AMOUNT^a	CFT: <u>\$280,826</u> \$350,000
2) TOTAL PEL APPLICATION AMOUNT^b	PEL:

^aAllowable CFT acquisition costs (Ordinance 14714): The disbursement of funds shall be made only for capital project expenditures that include costs of acquiring real property, including interests in real property, and the following costs: the cost of related relocation of eligible occupants, cost of appraisal, cost of appraisal review, costs of title insurance, closing costs, pro rata real estate taxes, recording fees, compensating tax, hazardous waste substances reports, directly related staff costs and related legal and administrative costs, but shall not include the cost of preparing applications for conservation futures funds.

PROJECT COSTS	ESTIMATED DOLLAR AMOUNT OR RANGE
Total property interest value	\$530,000
Title and appraisal work	\$14,382
Closing, fees, taxes	\$7,500
Relocation	\$0
Hazardous waste reports	<u>\$9,770</u> \$154,900
Directly related staff, administration and legal costs	\$0
Total Project Costs (CFT and other funds)	<u>\$561,652</u> \$706,782

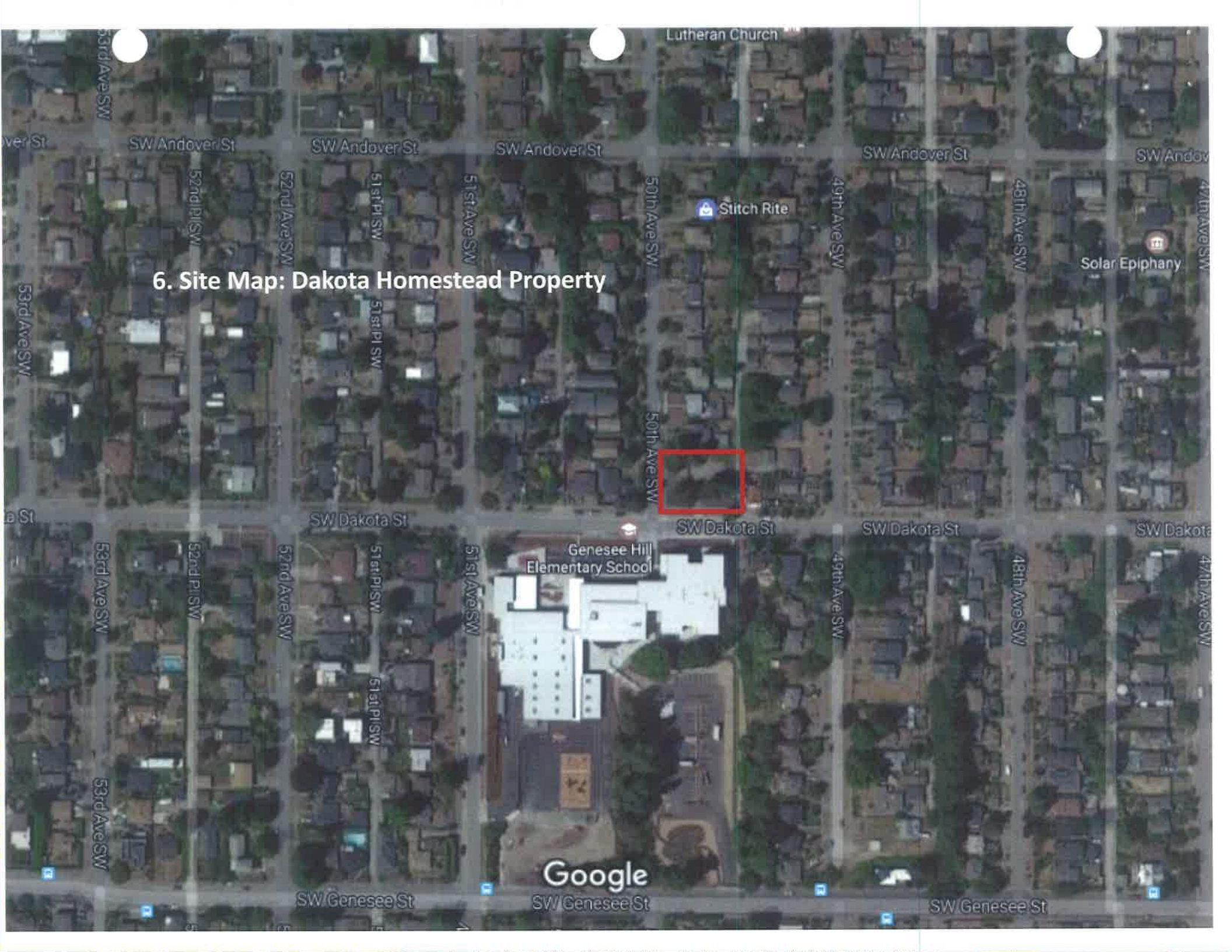
Annual cost to maintain current standard of the property: \$600-\$1000

- To be covered by the community through volunteers who mow the lawn, in partnership with the West Seattle TimeBank (volunteer hours "banked" by community members), or by raising funds to pay a maintenance crew.

Community partnerships and network:

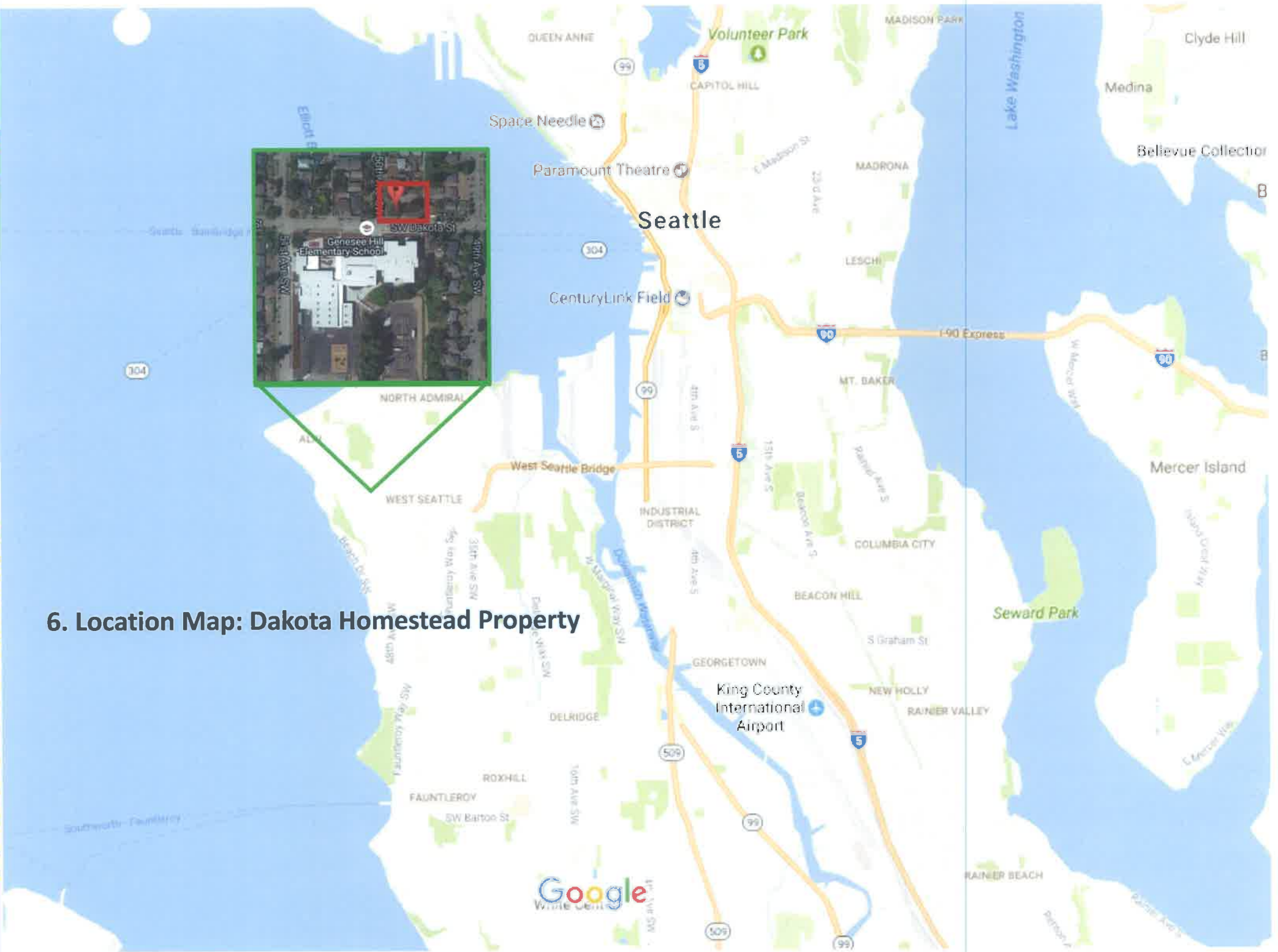
- School and Community Partnership with Genesee Hill Elementary & PTA: (500+ families)
- West Seattle TimeBank (Listserv: ~550)
- Genesee-Schmitz Neighborhood Council (listserv: 1000+)
- Seattle Green Spaces Coalition (listserv: 1,000+)
- Sustainable West Seattle (listserv: 1,000+)
- Seattle Farm School (listserv: ~400 Facebook following: 1,500)
- West Seattle Urban Farmers (Facebook following: 1,000+)
- Urban Homestead Foundation (listserv: 800+, Facebook following: ~400)

6. Site Map: Dakota Homestead Property





6. Location Map: Dakota Homestead Property





700 5th Ave., Suite 3200 | P.O. Box 34023 | Seattle WA 98124-4023

TEL (206) 684-3000 TTY/TDD (206) 684-3225 FAX (206) 625-3709

seattle.gov/light

twitter.com/SEACityLight facebook.com/SeattleCityLight

February 28, 2017

KING COUNTY CONSERVATION FUTURES PROGRAM
KING COUNTY OPEN SPACE ACQUISITIONS UNIT

ATTN: LORI KING

201 SOUTH JACKSON STREET, SUITE 600
SEATTLE, WA 98104

Dear Grant Review Team Members:

Seattle City Light supports the Urban Homestead Foundations proposal being submitted to the King County Conservation Futures Program (CFT) for the purchase and preservation of our former Dakota Substation site.

The Urban Homestead Foundation is embarking on a mission to purchase the land at the corner of Dakota and 50th Avenue SW in West Seattle in order to establish an active green space and urban gathering center that models, promotes and teaches green building and sustainable food systems through community and leadership development. "The Dakota Homestead" will be developed to support sustainable green practices and urban agriculture, providing a place to promote natural resources through demonstration gardens, weekly classes and seasonal events. The space will also serve as a food hub and seed lending library, connecting neighbors with each other and local farmers. In addition, the land will provide a wild space for schools to use as curriculum enrichment in topics such as edible gardening, urban wildlife, seasonal cooking, crafting and home finances.

Seattle City Light is required to sell this property for fair market value in order to comply with Washington State law. An appraisal was obtained in June 2014 and determined the fair market value for this parcel is \$530,000. Currently, we are having an updated appraisal completed and will have a revised value in the next four to six weeks. Funding from CTF is critical to turning this former substation into a resource for the community and an opportunity to improve the environment in the Genesee Hill area.

In conclusion, Seattle City Light fully supports the Urban Homestead Foundation's grant application.

Sincerely,

A handwritten signature in black ink, appearing to read 'Maureen L. Barnes', written over a horizontal line.

Maureen L. Barnes
Real Estate Manager
Seattle City Light