

ARCHITECTURAL STANDARDS

1. INTRODUCTION

This article provides architectural standards that are designed to be general and flexible yet prescriptive and designed to enforce a desired character for buildings. A primary goal of these standards is to provide quality, functional buildings that reflect the architectural style and character and that provide a strong relationship between buildings within a community. This article provides standards for buildings within the T2B, T2C, T3, T4, and T5 zones.

A. General Standards (T2B, T2C, T3, T4, and T5)

This section contains standards for a variety of elements, including building facades, roofs, private frontages, windows and doors, projecting shade structures, equipment screening, lighting, and signs. These standards are designed to promote appropriate development patterns and the desired character for communities throughout King County.

2. GENERAL STANDARDS (T2B, T2C, T3, T4, T5)

A. Facades

1. Each detached single family building shall be differentiated from the two homes to its left and the two homes to its right. Each attached single family unit (such as a townhouse unit) shall be differentiated from the two units to its left and the two units to its right. These buildings and units may be differentiated by using a different style/design or different materials. Different color applications shall also apply to these buildings and units. The intent of this standards is to create a variety of styles and designs and to avoid the creation of completely uniform or “cookie cutter” neighborhoods.
2. Buildings shall be constructed of durable materials that are appropriate for the architectural style of the building. Appropriate materials include:
 - Wood siding (painted or stained);
 - Stucco and plaster;
 - Poured in place concrete and other cementitious materials;
 - Brick, stone, rock, and tile materials (unpainted, unglazed, as accents, and as building bases);
 - Glass (as windows);
 - Wood-, aluminum-, steel-, and copper-framed windows and doors; and
 - Other materials of similar character and quality as approved by the Director.
3. If multiple materials are provided along a building facade, the heavier materials shall be located to the bottom of lighter materials. For example, brick should be provided below wood siding.
4. If changes in materials and/or colors are provided on a building facade, the changes shall occur along inside corners of the building facade; however, changes may occur on a single facade plane if a pronounced expansion joint is used to define a clear separation. Changes in materials and/or colors are prohibited on outside corners.
5. Buildings should be painted with muted and soft colors that are complimentary to one another and are appropriate for the architectural style of the building. Bold and bright colors may be used as accents, to highlight key building features, and to add diversity to the building. Fluorescent, neon, and excessively bold or bright colors are discouraged.
6. Painted exterior building surfaces shall have a matte finish; however, trim may have a glossy finish.

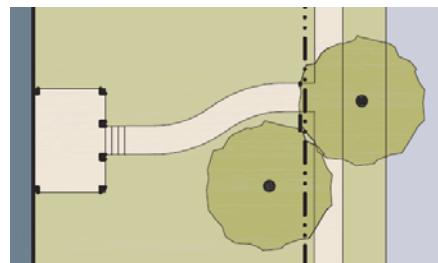
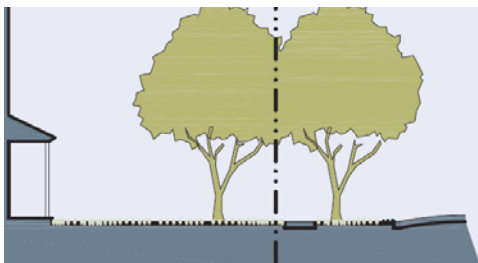
7. On multi-story commercial or mixed-use buildings, a horizontal expression line shall delineate the division between the first story and the second story on front building facades.
8. Walls shall be designed with a whole-system insulating value of R26 or greater.

B. Roofs

1. Flat roofs shall be enclosed by parapets (which also may include cornices) a minimum 42 inches high or as required to conceal rooftop equipment to the satisfaction of the Director.
2. Sloped roofs shall be designed with overhangs, gutters, and downspouts to prevent water damage and stains on facades and to protect pedestrians from dripping water. If provided, gutters and downspouts shall drain directly to a cistern, landscaped area, retention or detention basin, bioswale, or storm drain system.
3. The Solar Reflectivity Index for flat roofs should be a minimum of 78. The Solar Reflectivity Index for sloped roofs should be a minimum of 29.

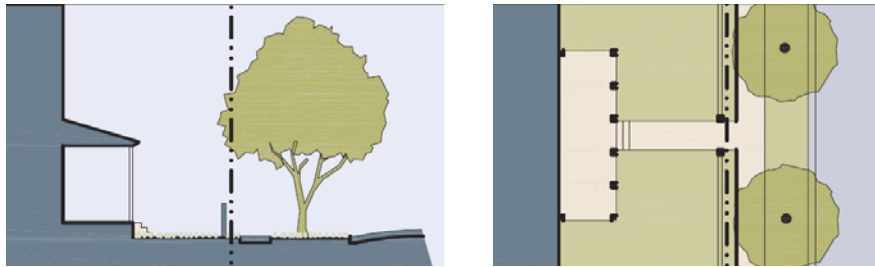
C. Private Frontages

1. All private frontages with a building setback shall include a walkway that connects the sidewalk to the building entrance, via the private frontage and associate elements.
2. Porticos:
 - Porticos provide a covered outdoor entrance landing for visitors while waiting for residents and may also serve as outdoor seating areas for residents.
 - Porticos may be recessed into the facade and/or may project out from the facade.
 - Porticos shall be covered by a roof, upper floor of the building, or projecting shade structure.
 - At least 1 edge of the portico shall be open and at least 1 edge shall be defined by a building entrance and facade; other edges may be open or defined by a building facade. Railings are prohibited along the edges of porticos.



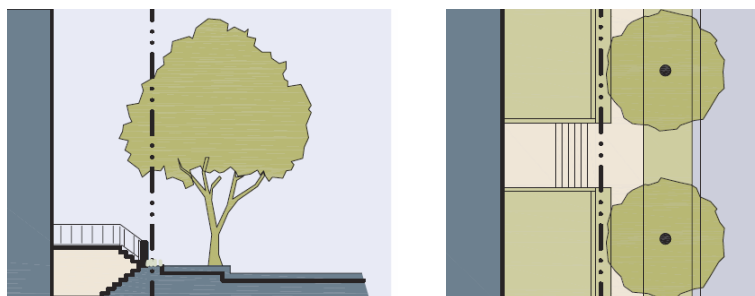
3. Porches:

- Porches provide covered outdoor space along the front of buildings for seating areas and allow for informal surveillance by neighbors.
- Porches may project out from a building facade by up to 12 feet. The platform of the porch shall be a minimum of 50 square feet with no dimension less than 6 feet in length.
- Porches shall be covered by a roof.
- At least 1 edge of the porch shall be defined by a railing (with an opening to connect to the walkway) and at least 1 edge shall be defined by a building entrance and facade.



4. Terraces and Lightwells

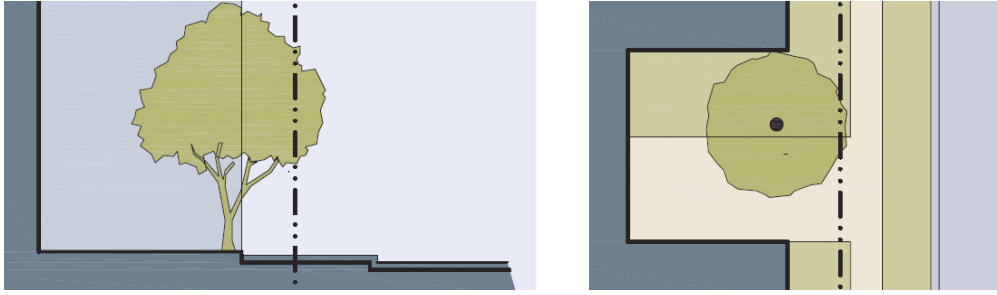
- Terraces and lightwells buffer building uses from urban sidewalks where the majority of front facades are built along sidewalks. Small yards may be placed on raised terraces or placed on lower lightwells to create more privacy.
- Terraces and lightwells may include outdoor dining.
- The depth of the terrace or lightwell shall not exceed the depth of the build-to-zone (see Article 3: Site and Building Standards).



5. Forecourts

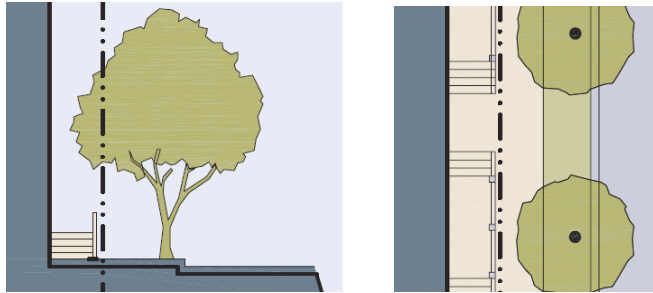
- Forecourts occur when the majority of the building is built along the built-to-zone and a portion is set back to create a courtyard.
- Forecourts may be used in conjunction with another private frontage.
- No dimension of the forecourt shall be less than 10 feet in length.

- The forecourt should include paved and landscaped surfaces.



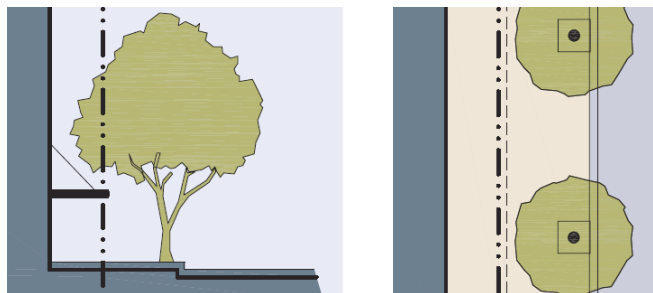
6. Stoops

- Stoops provide informal outdoor seating areas for residents and provide an entrance landing for visitors while waiting for residents.
- Stoops may be open or covered by a roof or projecting shade element.
- The raised platform of the stoop shall be a minimum of 16 square feet with no dimension less than 4 feet in length.



7. Storefronts

- Storefronts provide indoor sales space that is clearly visible from the adjacent sidewalk to encourage window shopping and natural surveillance between the interior shop and exterior sidewalk and street.
- Storefronts shall be recessed into the facade by a minimum of 6 inches.



8. Galleries

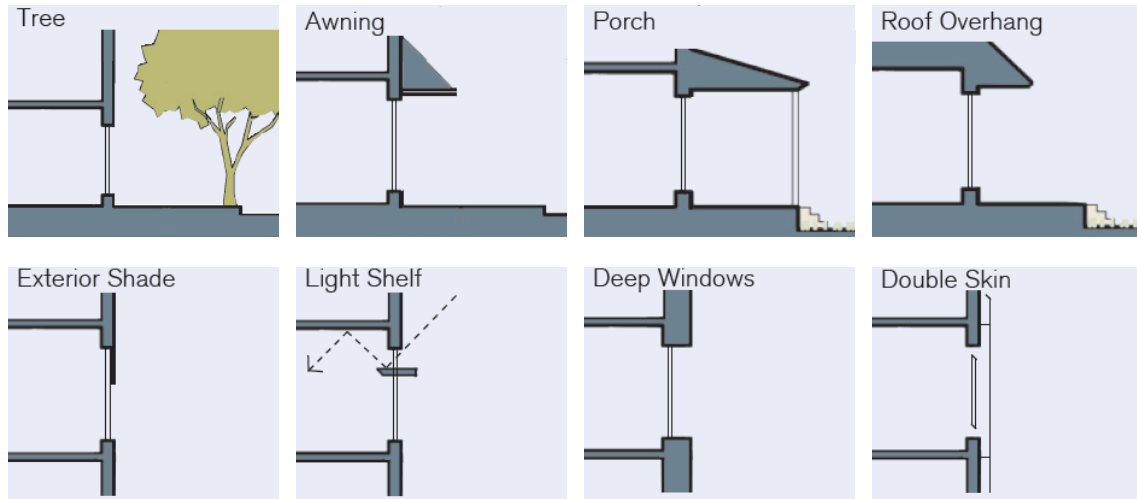
- Galleries provide covered outdoor areas above sidewalks that are directly adjacent to buildings. Galleries should extend over the sidewalk into the public right of way.
- Galleries should be used in conjunction with another private frontage, especially storefronts.
- Galleries shall be a minimum of 10 feet in width (as measured between the facade and support column).



D. Windows and Doors

1. Windows and doors should be recessed into the building facade to provide articulation.
2. Door and window openings should be square or vertically orientated. Arced or semi-circular windows may be provided above square or rectangular windows.
3. Windows shall be provided on all sides (faces) of bay windows. The maximum width of bay windows shall be 12 feet. At least 6 feet of horizontal separation shall be located between bay windows.
4. If used, faux window and door shutters shall have a width that would enclose the entire window or door open when the shutters are closed.
5. Windows that open and close should be used to provide natural ventilation. Fifty percent of the windows on a building should be operable. The operable windows should be distributed to maximize the direction of prevailing breezes.
6. Windows should have maximum average U-value of 0.30.
7. Mirrored, tinted, and colored windows are discouraged on front and external side facades.

8. All south facing windows should be shaded. Appropriate methods of shading include trees, awnings, porches, roof overhangs, exterior shades, light shelves, deep or recessed windows and double skin windows.



E. Projecting Shade Structures

1. Projecting shade structures, such as awnings, marquees, window shades, trellises, and roof overhangs, should be used to provide articulation and regulate building temperature, especially along south-facing building facades. Upper floor balconies may also satisfy these functions and are encouraged along building facades.
2. Projecting shade structures shall not block storefront or display windows, piers, columns, pilasters, architectural expression lines, and other prominent facade features.
3. If used over a sidewalk or walkway, projecting shade structures shall maintain a minimum vertical clearance of 8 feet above the adjacent sidewalk or walkway.

F. Equipment Screening

1. The following items shall not be visible from an elevation drawing from all streets and civic spaces around a buildings:
 - Heating, ventilation, and cooling equipment (including wall- and window-mounted air conditioning units);
 - Utility meters, power transformers, and sectors;
 - Irrigation and pool pumps;

- Antennas and satellite dishes (except satellite dishes 18 inches or less in diameter);
- Rooftop mechanical equipment (except solar panels and small-scale wind turbines on non-historic structures);
- Permanent barbecues and swimming pools; and
- Other mechanical equipment as required by the Director.

G. Lighting

1. On-site lighting measured at the property lines shall not exceed 0.5 foot-candles (fc) in the T1 zone; 1.0 fc in the T2A, T2B, T2C, T3, and T4 zones; and 2.0 fc in the T5 zone.
2. Pedestrian-scaled lighting should be provided at building entrances, within parking areas, throughout civic spaces, and within other areas that are routinely used by pedestrians.
3. Lighting poles and fixtures should have a decorative and/or ornamental design that complements the structures on site.
4. Lighting should be provided at regular intervals to prevent the creation of light and dark pockets. Dark pockets can create uncomfortable areas for pedestrians and provide opportunities for criminals to hide in dark shadows. Light pockets can create a “fish bowl” affect. Within the light pocket (or the “fish bowl”), pedestrians may be observed, but their ability to see outside of the light pocket is limited, which creates discomfort and insecurity.

H. Signs

1. Signs shall be constructed of durable and weatherproof materials so that they will not discolor, fade, crack, rust, or erode. Signs shall be replaced and/or repaired as needed to maintain the integrity of the sign.
2. The gross area of all signs parallel to a building facade shall not exceed 10 percent of the total facade area.
3. Signs shall not occupy more than 25 percent of a window, including windows on doors.
4. Signs that project from a building facade or hang from a facade projection shall maintain a minimum vertical clearance of 8 feet above the sidewalk or walkway and shall not exceed an area of 10 square feet (per sign).
5. Signs shall not be located above the roof overhang or parapet; however, special signs, such as theater marquee signs or individually mounted letters constructed on top of the parapet, may project above the roof overhang or parapet if approved by the Director.
6. Signs that project from a building facade, signs that hang from a facade projection, and signs located on awnings and windows (except for “open” signs on windows) shall be externally illuminated.

7. Monument and freestanding signs shall not exceed a height of 5 feet and shall not impact views at intersections and driveways.
8. The following signs are prohibited:
 - Billboards, pole-mounted signs, and “lollipop” signs;
 - Inflatable or windblown signs;
 - Signs that produce smoke or noise;
 - Signs with animated or moving features;
 - Changeable letter or electronic display signs (except those approved by the Director);
 - Roof-mounted signs;
 - Permanent sidewalk signs and banner signs; and
 - Internally illuminated box signs that light the entire sign (letters, symbols, logos, and background).

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