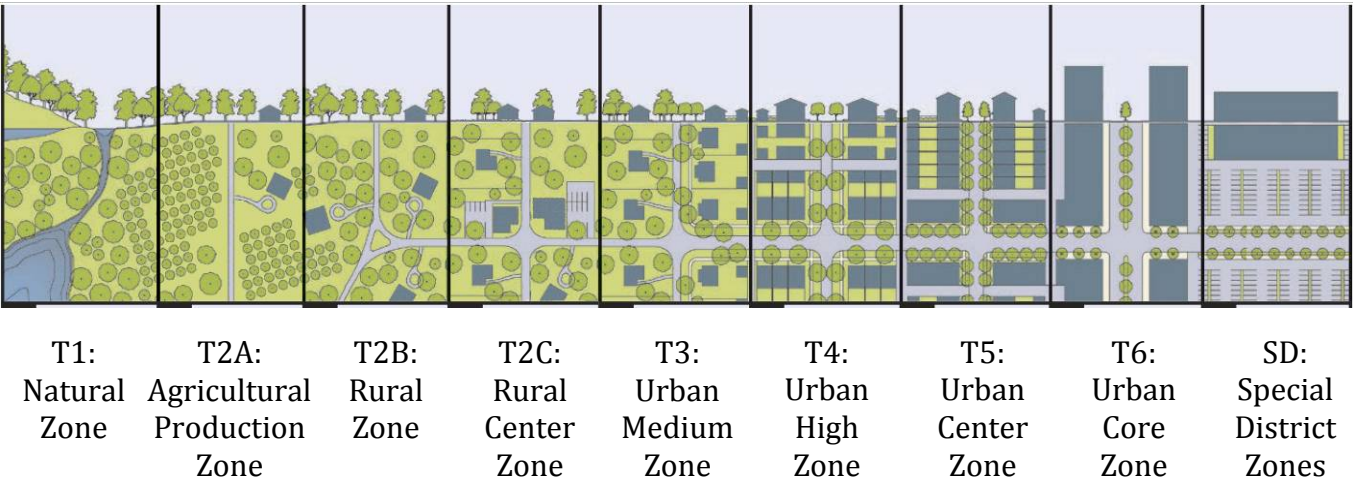


# FRAMEWORK: THE TRANSECT

## 1. INTRODUCTION

### A. Purpose and Intent

Within King County, there are a variety of environmental conditions ranging from natural woodlands and riparian areas to urban city centers. In general, the environmental conditions of a given place can be characterized by the transect, a cross-section of the environment showing a range of different natural and developed environments. The transect is used as a framework for this Code. The transect used in this Code is divided into six specific transect zones (Natural, Agricultural Production, Rural, Rural Center, Urban Medium, Urban High, Urban Center, and Urban Core) and a variety of special district zones:



Transect zones are intended to regulate and promote development that reinforces the desired characteristics and qualities of each specific zone. General descriptions of each transect zone are provided below.

## 2. DESCRIPTIONS OF TRANSECT ZONES

### A. T1 (Natural Zone)

The T1 zone is assigned to land approximating or reverting to a wilderness condition that is unsuitable for settlement due to topography, hydrology, vegetation, or other environmental condition. These lands include steep hillsides, riparian corridors, major flood plains, lakes, wetlands, earthquake faults, and woodlands. Lands may be used for passive regional parks and trails. Buildings are not allowed in the T1 zone, except for public utility structures. Roads are generally designed to respond to natural conditions, such as topography and water bodies. Roads are designed to reinforce the natural character of the zone and generally contain soft shoulders and drainage swales.

### B. T2A (Agricultural Production Zone)

The T2A zone is assigned to sparsely settled land that is generally in a cultivated state. These lands are generally used for agricultural-related activities, but natural and uncultivated land may also be present. Lands may also be used for passive regional parks and trails. The T2A Zone may include buildings that are up to two stories high with deep and variable setbacks. Horses and other farm animals are allowed in this zone in compliance with King County Code Section 21A.30.030 (Animal regulations – Livestock) of the King County Zoning Code. Roads are designed to reinforce the rural character of the zone and generally contain soft shoulders and drainage swales.

### C. T2B (Rural Zone)

The T2B zone is assigned to rural land in open or cultivated states. These lands are generally occupied by large lot rural residential properties. Limited agricultural and commercial activities may also be present. Lands may also be used for playgrounds, passive regional parks, and trails. The T2B zone may include buildings that are up to two stories high with deep and variable setbacks. Horses and other farm animals are allowed in this zone in compliance with Section 21A.30.030 (Animal regulations – Livestock) of the King County Zoning Code. Roads are designed to reinforce the rural character of the zone and generally contain soft shoulders and drainage swales.

### D. T2C (Rural Center Zone)

The T2C zone is assigned to land appropriate for rural centers with a mix of building types and uses. These lands are generally occupied by commercial buildings and also may include some mixed-use buildings. Civic and religious buildings may also be present. Lands may also be used for playgrounds, squares, and plazas. The buildings are one-to-two stories high with shallow or no front setbacks and small or no side and rear yards. Block sizes vary and are representative of the patterns established in the T2B zone.

**E. T3 (Urban Medium Zone)**

The T3 zone is assigned to land appropriate for low density development. These lands are generally occupied by detached residential houses. Limited agricultural, commercial, civic, and religious activities may also be present. Lands may also be used for playgrounds and passive and active neighborhood parks. The T3 Zone may include buildings that are up to two stories high with variable front and side yard setbacks. Depending on the desired character of the community, roads and streets may be designed to reinforce a rural character by incorporating soft shoulders, paths, and drainage swales, or they may be designed to reinforce a more urban character by incorporating curb and gutters, parkways with street trees, and sidewalks.

**F. T4 (Urban High Zone)**

The T4 zone is assigned to land appropriate for neighborhoods with a mix of building types and uses. These lands are generally occupied by detached and attached residential houses, small apartment buildings, and small commercial or mixed-use buildings. Civic and religious buildings may also be present. Lands may also be used for playgrounds, passive and active neighborhood parks, and squares. The buildings are one-to-three stories high with shallow front setbacks and small or no side and rear yards. Block sizes are limited to create a walkable and well-connected network of streets. Street are designed to encourage pedestrian activity by generally including on-street parking, curbs and gutters, parkways with street trees, and wide sidewalks.

**G. T5 (Urban Center Zone)**

The T5 zone is assigned to land appropriate for neighborhood centers with a mix of building types and uses. These lands are generally occupied by attached residential houses, apartment buildings, and commercial or mixed-use buildings. Civic and religious buildings may also be present. Lands may also be used for playgrounds, squares, and plazas. The buildings are two-to-four stories high with shallow or no front setbacks and small or no side and rear yards. Block sizes are limited to create a walkable and well connected network of streets. Street are designed to encourage pedestrian activity by generally including on-street parking, curbs and gutters, parkways with street trees, and wide sidewalks.

**H. T6 (Urban Core Zone)**

The T6 zone is assigned to land appropriate for development with the highest density and height and with the greatest variety of uses in comparison to the surrounding area. Within King County, the T6 zone would only be allowed in incorporated cities. Therefore, standards for the T6 zone are not included in this Code. It is only discussed to provide context to the transect framework.

**I. SD (Special District Zone)**

The SD zone is assigned to land suitable for development that, by its intrinsic size, function, or configuration, cannot conform to the descriptions and standards for one of the six specific transect zones. These development types include, but are not limited to, resorts, auto malls and car dealerships, industrial properties, business parks, shopping centers, shopping malls, airports, college campuses, and mining and quarry operations. Section 21A.38 (General Provisions –

Property-Specific Development Standards/Special District Overlays) of the King County Zoning Code shall be used to establish SD zones.

### 3. TRANSECT STANDARDS

Development standards for the transect zones (excluding the T6 and SD zones) are provided in the following sections of this Code:

- Article 3: Building Standards
- Article 4: Street Standards
- Article 5: Civic Space Standards